

The background of the entire page is a repeating pattern of stylized, elongated leaves. Each leaf is filled with fine, parallel horizontal lines. The leaves are scattered across the page, with some appearing in the foreground and others in the background, creating a sense of depth. The color palette is primarily light gray and white, with a prominent red horizontal band across the middle.

Ellarook

A life inspired

DESIGN GUIDELINES

17|11|21

INTRAPAC
PROPERTY

Welcome to a life **INSPIRED**

Inspiration comes from many places. But when that place is set in the heart of Melbourne's thriving west, surrounded by the best life has to offer and just 25 minutes from the city, it becomes an inspired opportunity for you and your family. Welcome to Ellarook, where a real community will enjoy an inspired life.

Drive times and distance are approximate and subject to traffic conditions.

Ellarook

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WWW.ELLAROOK.COM.AU

ELLAROOK DESIGN ASSESSMENT PANEL (EDAP)
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1

Overview

1 Overview

1.1 OBJECTIVES

The primary objective of these Design Guidelines is to help all Lot owners to achieve a high quality of design and construction of all new homes. They have come about because we are conscious of the importance of building well designed homes in your new community.

This document will inform and guide you through the process that is designed to ensure individual houses sit well in the streetscape, and play a part in the establishment of safe neighbourhoods. In this way, they help establish the foundations for maintaining, protecting and enhancing your most valuable asset, your home.

1.2 DESIGN APPROVAL PROCESS

All homes built at Ellarook must be approved by the Ellarook Design Assessment Panel (EDAP) prior to lodging for any Building Permit or commencing any construction of works. The EDAP is appointed by the developer to oversee and implement the objectives of the Design Guidelines.

Please note that the EDAP may approve any proposal, or element of a proposal, that is not strictly in accordance with the wording of the Design Guidelines if the EDAP feels that it makes a positive contribution to the overall objectives of the built form at Ellarook.

No claims shall be made to the Developer, the EDAP or their representatives with respect to the decisions made.

**The EDAP can be contacted as follows:
P: (03) 9849 6222**

Allowance has been made for two submissions for each Design Approval application. Each additional submission may incur an administration fee, at the sole discretion of the EDAP. New submissions for a Lot that has already had an application approved may also incur an administration fee.

1.3 SUBMISSION REQUIREMENTS

All submissions for Design Approval must be in PDF format and include the following information:

- Site plan at 1:200, showing the building outline and setback dimensions from all boundaries, vehicle crossover location, extent of driveway and any other paths in the front setback, the extent and locations of all fences and retaining walls
- Plans and elevations at 1:100, with dimensions and showing the internal layout, windows, doors and other openings, and any pergolas, decks, terraces, balconies, verandahs etc.
- For Lots with greater than 1.5m land fall, please include at least one sectional drawing, at 1:100, that explains the extent of proposed cut and fill location and heights of proposed retaining walls
- Printed samples or images (swatches, colour photos, paint chips etc.) of all proposed external materials and colour selections
- Landscape plan at 1:100, with dimensions and showing the indicative extent of all hardscape and softscape, and a planting schedule that lists all proposed species referenced on landscape plan
- Signed Fencing Template (see section 5.0)

1 Overview

1.4 SUBMISSIONS

When you are ready to make your submission for Design Approval, you can lodge it on the:

Design Approval Portal at www.ngdd.com.au

**The EDAP can be contacted as follows:
P: (03) 9849 6222**

Users must first register to use the portal. Once this has been done, log in and simply enter the relevant details when prompted.

As well as being a handy source of information, this portal will help Owners, Designers, Builders and Developers to lodge and track the progress of a submission from the initial lodgement through to approval.

Generally, we will review and respond to you within 10 working days of your submission, but this time may vary depending on the nature and completeness of your submission.

HANDY HINT

Please note that incomplete submissions are the single greatest cause of delays in obtaining a Design Approval. Check that your submission includes all the required information before lodging it. Complete and thorough submissions take the least time to process, review and approve. A handy checklist has been provided in section 6.0 for your referral.

1.5 RE-SUBMISSIONS

Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

1.6 TIMING

1. The driveway must be constructed prior to the occupancy of the dwelling
2. All front gardens must be landscaped in accordance with these Guidelines (including all turf, soft landscape, driveways and pathways) within 3 months of issue of the Certificate of Occupancy
3. Fencing must be constructed within 30 days of the issue of the Certificate of Occupancy

1.7 SMALL LOT HOUSING CODE

These guidelines apply to all single dwelling Lots at Ellarook. Lots that provide a single dwelling and have an area less than 300 square metres are also subject to the requirements of the Small Lot Housing Code (SLHC). In the event of any clash between the SLHC requirements and these Design Guidelines, the SLHC shall take preference. The EDAP will not assess proposals against the requirements of the SLHC.

1.8 OTHER APPROVALS

The requirements detailed in this document are in addition to, and not in lieu of, any other legal requirements. Approval by the EDAP does not exempt the plans from any building or statutory regulations, nor infer compliance with the building regulations or other applicable statutory legislation. Separate approval must be obtained from the relevant authorities. It is the responsibility of the owner to ensure any other approvals, authorisation permits or other requirements are obtained and satisfied.

1 Overview

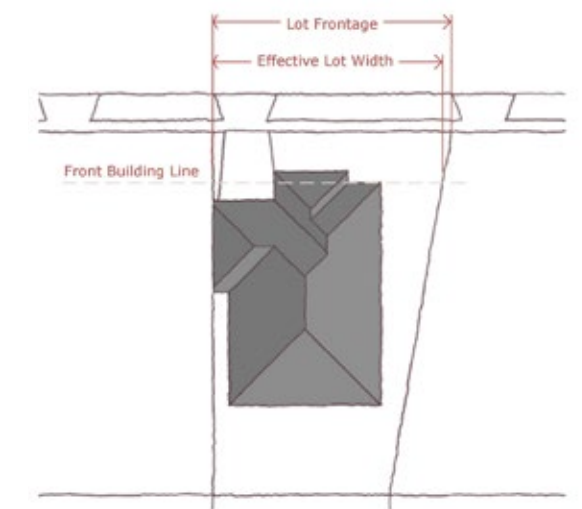
1.9 DEFINITIONS

For the purposes of these guidelines:

- **Public Realm** is any land that is within the ownership of a public body, including Council and servicing authorities
- **Primary Street Frontage** is the boundary that abuts the Public Realm
- **A Corner Lot** is any Lot that has more than one boundary that abuts the Public Realm
- **On Corner Lots**, the primary street frontage is the shorter one adjacent to the street, unless noted otherwise on the Plan of Subdivision
- **For Irregular Lots**, the Lot Width is the width of the Lot at the front building line. (The front building line does not include the entry feature of a dwelling)
- **Front Loaded** refers to a Lot where the garage is accessed from the primary frontage
- **Side Loaded** refers to a Lot where the garage is accessed from a secondary frontage
- **Rear Loaded** refers to a Lot where the garage is accessed from the rear of the Lot, usually from a lane or secondary street



1.9.1 Primary Frontage



1.9.2 Lot Width Definition

2

Environmental Sustainability

2 Environmental Sustainability

Ellarook sets new standards in sustainable community living, recognised by a prestigious 6 leaf EnviroDevelopment certification.

Ellarook has been awarded an exceptional 6 leaf EnviroDevelopment Accreditation which covers every available category in this national independent assessment system.

Only awarded to those estates that achieve the highest sustainable outcomes across the residential, commercial and industrial sectors, it is verification of Ellarook's sustainability and performance.

As a future resident, this should give you enormous confidence that you have bought into a community that diligently supports an environmentally sustainable lifestyle.



If you would like to know more about EnviroDevelopment accreditation and its various aspects, please visit envirodevelopment.com.au



COMMUNITY

Encouraging a healthy and active lifestyle, community spirit, sustainable local facilities, reduced vehicle use and accessible design that welcomes a diversity of people.



WATER

Achieving reductions in potable water use through water efficiency mechanisms and the utilisation of alternative water sources to meet irrigation demand for public open spaces.



MATERIALS

Utilising materials that are environmentally responsible, such as recycled, renewable, or non-polluting sources, to lower environmental impacts.



ENERGY

Supporting measures that harness renewables, optimise energy reduction, and lessen the usage of polluting sources through smart design.



WASTE

Promoting recycling of construction materials to reduce landfill, minimising onsite pollution and providing resources that encourage occupant composting and waste reduction.



ECOSYSTEMS

Development that aims to protect and enhance existing native ecosystems encouraging natural systems and native biodiversity of aquatic ecosystems landform, flora and fauna.



2 Why Ellarook Achieved 6 Leaf Accreditation

This recognition is a reflection of Intrapac Property's commitment to sustainable living and the environment through innovation and initiatives.

Every home at Ellarook will reap not only the healthy lifestyle benefits but also the energy cost savings that come with a 6 leaf EnviroDevelopment certification.

Sustainability underpins the entire Ellarook estate with the following features:

- The development of the open space along Skeleton Creek totalling 1.412ha which is almost 60% more than required
- Extensive paths and bicycle tracks through the estate for connectivity, encouraging a outdoor lifestyle
- The extensive open space will incorporate art sculptures, covered shelter picnic areas with BBQ facilities, terraced playgrounds and multiple bike racks
- Clay soils and top soils removed during construction will be stockpiled and re-used for filling
- Public areas to be landscaped with native, drought tolerant plants
- Landscaping guidance to increase water efficiency with a list of drought tolerant plant species provided to residents
- All trees removed during the course of construction will be mulched and stockpiled to be re-used for the landscaping
- Public reserves to be fitted with a dual bin system for general and recycled waste
- Guidelines encouraging the use of compost bins by residents
- Use of recycled plastics in park furniture and playground elements

ENERGY EFFICIENCY

At Intrapac Property, we believe maintaining a sustainable community is everybody's responsibility with the ultimate aim of reducing the environmental footprint and saving on energy bills.

Ellarook's masterplan has been developed so 75% of dwellings can have a favourable northern aspect orientation. This encourages house designs to achieve a 6-star energy efficiency rating (NatHERS) through passive design features such as:

- Passive cooling through natural ventilation
- Passive heating through thermal mass and solar gain
- Passive lighting by taking advantage of direct northern aspect for living areas
- The use of energy efficient fixtures and fittings such as timers, dimmers, zoning, skylights and energy efficient globes
- Use of the minimum National Construction Code levels for insulation
- Use of connected recycled water for landscaping, toilets and washing machine
- Use AAA-rated water efficient taps, shower fittings, washing machine and appliances
- Light coloured roof and walls

If you would like to know more about EnviroDevelopment accreditation and its various aspects, please visit envirodevelopment.com.au

enviro
DEVELOPMENT™





3

Sustainability Considerations

3 Sustainability Considerations

The Ellarook Design Guidelines encourage a range of design practices that will assist in achieving sustainable design solutions. Factors to be considered include:

- Appropriate solar orientation
- Rain water harvesting
- Water efficient plumbing
- Plant species with low/no watering requirements
- Permeable surfaces
- Deep Eaves
- Solar generated power and hot water
- Energy efficient lighting
- Passive heating and cooling.
- Double glazing
- Insulation
- Finished surfaces with limited future maintenance

Dwellings must achieve a minimum 6 star NatHERS rating.

3.1 ORIENTATION

Proper orientation of your home will help manage climatic conditions and contribute to the creation of favourable microclimates within the home. Proper orientation is environmentally responsible, can save you energy running costs and increase your enjoyment of your home.

Correct orientation should:

- Maximise the northern aspect of day time living areas and private open spaces (courtyards, patios etc.)
- Position sleeping and services spaces to the south
- Avoid prolonged exposure and unwanted heat loading to living areas during hot summers
- Maximise natural light and solar access to living areas during cold winters

3.2 PRIVATE OPEN SPACE

Private open space areas should be well integrated with internal living areas and take advantage of the northerly aspect. They should be designed for privacy from adjacent buildings and provide low maintenance open space areas that facilitate opportunities for recreational and social activities, passive amenity and landscaping.

3.3 COMPOST FACILITY

It is encouraged that each dwelling provide an onsite compost facility for individual household use.

3 Sustainability Considerations

3.4 ENERGY

Implement the use of energy sustainable design features through:

1. **Lighting**

- Zoning
- Incorporate maximum natural light
- Introduce skylights
- Dimmers
- Motion sensors
- Timers
- Energy efficient globes

2. **Hot Water System**

- Locate HWS as close to bathroom, kitchen or laundry
- In design, cluster wet areas to reduce pipe runs
- Insulate hot water pipes
- Mandatory use of either gas hot water, heat pump or solar hot water in the design of the dwelling

3. **Heating and Cooling:**

- Passive solar design encapsulating Thermal Mass construction, keeps an area cool during the day and releases the heat during the night. Use of materials with high thermal mass such as concrete floors, masonry walls, stone, ceramic surfaces - will assist with the overall thermal efficiency of the building.
- Mandatory use of minimum National Construction Code compliant levels of insulation
- Double glazing
- Cross natural ventilation with windows and doors
- Create Zones and compartments for heating and cooling to avoid unnecessary energy consumption for areas not in use
- Mandatory use of thorough draught seals

3.5 SHADING

Where practical, eaves to the perimeter of the building to extend long enough to block out the summer sun but allow the winter sun to penetrate through the windows. External louvres are encouraged for windows.

3.6 WATER CONSERVATION

Sustainability through water conservation will provide long term environmental and financial returns when implemented within the dwelling design. It is mandatory that the specification outlines:

1. AAA-rated water efficient taps and showers fittings
 - a Showerheads that use ≤ 6 litres per minute
 - b Taps to bathroom, kitchen and laundry that use ≤ 6 litres per minute
2. AAA-rating for dishwashers and appliances
 - a Dishwasher with a water consumption of ≤ 14 litres per use
 - b Dishwasher with an energy consumption of ≤ 245 kWh per annum
 - c Air-conditioning system with a COP of ≥ 3.20 and EER of ≥ 3.00

4 Design



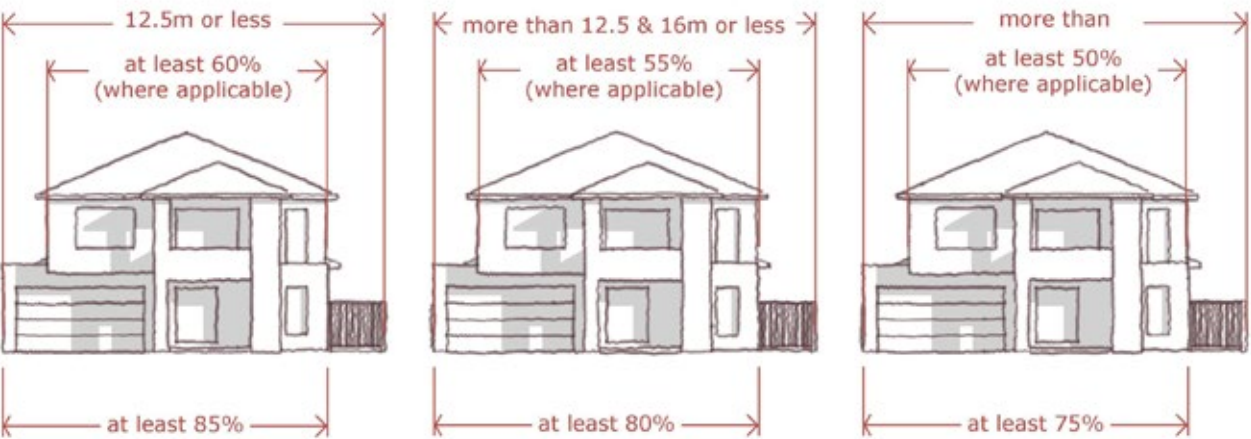
Image courtesy of Carlisle Homes

4 Design

4.1 SITE LAYOUT

Only one dwelling is permitted per Lot, unless noted otherwise on the relevant Plan of Subdivision.
The width of the front elevation must comply with the following:

LOT WIDTH	MINIMUM WIDTH GROUND FLOOR	MINIMUM WIDTH FIRST FLOOR (where applicable)
LESS THAN OR EQUAL TO 12.5M	85%	60%
MORE THAN 12.5M AND LESS OR EQUAL TO 16M	80%	55%
MORE THAN 16M	75%	50%

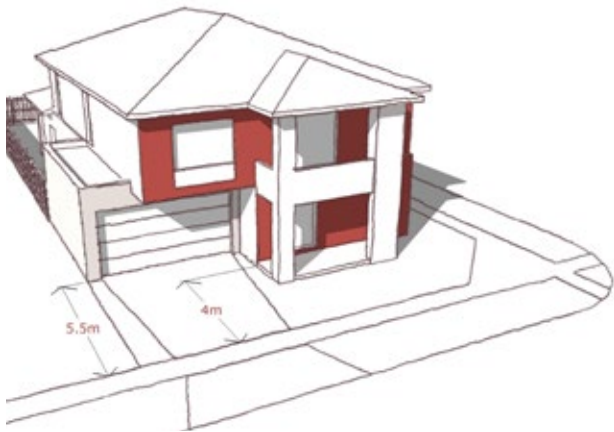


3.1.2 Lot Frontage

4 Design

4.2 SETBACKS

- All setbacks and encroachments must comply with the relevant Victorian Building Regulations. Generally, this means that the front wall must be set back at least 4m from the front boundary and garages must be set back at least 5.5m from the front boundary.
- Garages accessed from the front of a Lot must be set back 5.5m from the front boundary of the Lot. In addition to the prescribed setbacks, consideration should be given to the mature size of any proposed planting, particularly in the front setback, to allow plenty of space for roots and branches to spread.



3.2 Setbacks

4.3 STREETScape VARIETY

- Overly similar facades are not permitted within 4 Lots of each other along both sides of the street. The determination of this issue will be at the sole discretion of the EDAP. If any two facades are deemed not to comply with this requirement, the earlier application will take precedence.



3.3.1 Streetscape Variety

4 Design

4.4 CHARACTER AND VISUAL STYLE

1. A variety of architectural character and visual styles is encouraged and allowed. Whilst not specifically prohibited, “period” facades and architectural features will be assessed in the context of the surrounding building mass and stylistic characteristics.
2. Each dwelling must incorporate a prominent front entry feature that is readily visible from the primary street frontage and complementary to the overall dwelling design.
3. The front facade of each dwelling must also incorporate articulation of some sort, to the satisfaction of the EDAP. Articulation can be provided by the entry feature above, and/or the use of materials, windows, stepped walls etc. Large areas of blank, unarticulated walls will not be approved.
4. Please note that sliding windows are not permitted on any facade that faces the public realm.
5. As well as the minimum setback from the front boundary, garages must also be stepped back at least 500mm from the front wall of the dwelling. Allowable encroachments into the front setback must not be used to calculate the 500mm garage step back.

4.5 ROOF

1. Pitched roofs must have:
 - a roof pitch of between 20° and 25°
 - a minimum eaves width of 450mm to the front facade, including the garage
 - a minimum 1m return of the eaves along the side wall of any single storey roof
 - a minimum eaves width of 450mm to the entire upper level on two storey dwellings
2. Parapets on the front facade are permitted, but they must be returned along a side wall for at least 500mm. Parapets without a return along the side will not be approved.

3. Corner Lots have slightly different requirements for roof design.
Please refer to Section 3.8.

4.6 EXTERNAL AND FINISHES

1. Colour schemes should adopt a palette of muted, neutral tones. Bright and vibrant colours will only be approved if used in small areas to complement the main colours and finishes.
2. The walls of the front facade must be finished with a mixture of at least 2 different materials/finishes.
3. Face Brick must not account for more than 75% of the front facade. This calculation does not include any openings (i.e. doors, including the garage door, windows etc.)
4. Any facade that faces the public realm must not include infill or recessed panels above doors, windows or garage doors. The finish above the opening must match the finish on either side of the opening, unless the EDAP considers the panels to be part of an allowable design element.
5. Roof cladding must complement the style of your home. Acceptable materials include pre-finished, corrugated roof sheeting in lighter colours and roof tiles.
6. Roof materials and rainwater fixtures, including gutters, flashing, fascias and cladding, must be matte finish and non-reflective. Galvanized, zincalume or unfinished roof materials and rainwater fixtures are not permitted.
7. External glazing that is visible from the public realm must not contain leadlight, stained glass, reflective glass or patterned film
8. Roll down security shutters must not be visible from the public realm

The final decision relating to all materials, finishes and colours is at the discretion of the EDAP.



4 Design

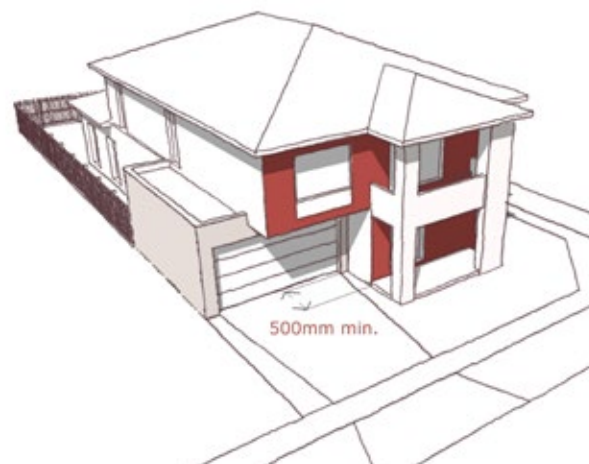
4.7 GARAGE

1. All Lots must incorporate a fully enclosed garage. Carports and open sided garages are not allowed.
2. Garages accessed from the primary frontage of a Lot must be integrated into the overall form of the dwelling and must be set back at least 500mm from the front building line of the house. Porches, porticos, architectural features etc. are not considered part of the front building line.
3. Garages that are not accessed from the primary frontage may be detached, at the discretion of the EDAP. Detached garages must match or complement the dwelling in materials, colours and finishes.
4. Roller doors are not permitted if they are visible from the public realm.
5. Garage door openings on single storey homes must not exceed 40% of the width of the Lot frontage.
6. Proposals that incorporate triple garages will be considered on their merits. In addition to the other requirements in this section, the third car space must have a dedicated door and the wall that contains the third door must be stepped back at least 500mm from the other front wall of the garage.
7. Lots with a frontage of more than 12.5m must provide a double garage.

4.8 CORNER LOTS

1. Dwellings on corner Lots must address the secondary frontage by incorporating the same or similar design features to those used on the primary frontage. Acceptable features may include:
 - Windows with matching head heights
 - Highlight materials and finishes that wrap around from the primary facade
 - Other treatments, to the satisfaction of the EDAP, such as stepped walls, pergolas, roof features etc.
 2. Dwellings on corner Lots must include eaves to all sides facing the Public Realm, unless otherwise approved by the EDAP.
 3. Materials/features used on the front facade must extend to the secondary frontage for a minimum of 3m.
 4. Corner features must be forward of the return fence and/or readily visible from the public realm.
- Please note that blank walls forward of the return fence are not permitted. Corner Lots also have additional fencing requirements compared to Lots that are not corner Lots.

Please refer to section 4.10

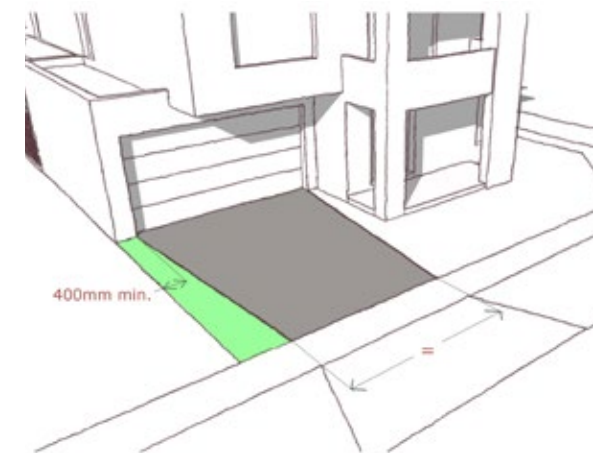


3.7.2 Garage set back

4 Design

4.9 DRIVEWAYS

1. Each Lot is limited to one crossover.
2. Driveways must taper to the width of the crossover at the boundary.
3. The driveway must be set back a minimum of 400mm from the side boundary to provide a strip for landscaping.
4. Driveways must be constructed from:
 - Exposed aggregate concrete; or
 - Coloured concrete; or
 - Stamped/stencilled concrete; or
 - any other EDAP approved finish
 - Permeable paving(as agreed with the EDAP).
5. Plain (uncoloured) concrete driveways are not permitted.



3.9.2 Driveway

4 Design

4.10 FENCING

Front Fencing (fencing forward of the dwelling or garage)

Fencing forward of the dwelling is not permitted, unless it is on the rear boundary of an adjoining Lot.

Side and Rear Fencing (fencing between Lots)

Side and rear fencing must be:

- Constructed with exposed timber posts, a 150mm bottom plinth, lapped timber palings and timber capping; and
- A maximum height of 1.95m above natural ground level; and
- Terminated behind the closest facade wall, unless the fence is on the rear boundary of an adjoining Lot.
- Returned to meet the closest side wall of the dwelling or garage (return/wing fence)

Corner Fencing (Fencing to a Public Realm Boundary other than the Frontage)

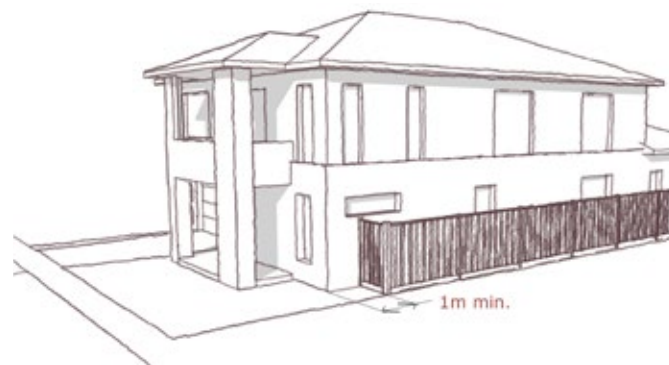
In addition to the specification of the side and rear fence, Corner Fencing must:

- Incorporate at least 2 panels which have a 15mm gap between the palings instead of having lapped palings; and
- Ensure that any rails are not on the public realm side of the fence; and
- Terminate a minimum of 3m behind the closest front wall of the dwelling or 1m behind any corner treatment, whichever is greater; and
- Terminate by returning to meet the closest wall of the dwelling (return/wing fence).

Return/Wing Fence (Fencing between the boundary fence and the dwelling or garage)

The return/wing fence must be:

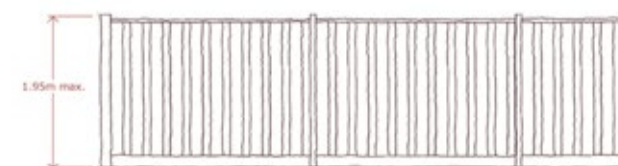
- Constructed to match the boundary fence; and
- Located at least 1m behind the closest facade wall for a side/rear fence
- Located at least 3m behind the closest facade wall for a corner fence



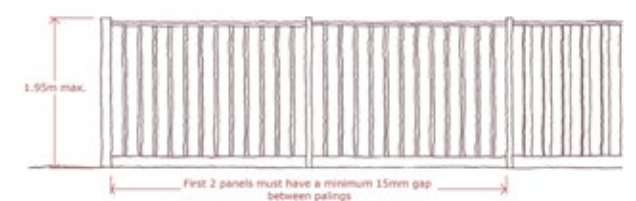
3.10-1 Side fence layout



3.10-2 Corner fence layout



3.10.3 Side fence elevations



3.10.3 Corner fence elevations

4 Design

4.11 LANDSCAPING

1. No more than 25% of the front yard is to be comprised of impermeable surfaces (concrete or pathways, pavers, etc.). The driveway is to be excluded from this calculation.
2. Residential garden frontages shall complement the built form of the house and seek to achieve a seamless transition between street and house.
3. Letterboxes must be designed and sited to match and complement the dwelling design. Single post supported letterboxes will not be permitted.
4. All areas of the landscaping that are not paved are to be landscaped using plants, grass, shrubs, groundcovers or trees. Front landscaping works should include the following as a minimum standard:
 - Fine grading and shaping of planting and lawn areas
 - Garden beds comprised of mulch and/or pebbles
 - Small areas of lawn (or lawn substitute)
 - At least 30 shrubs
 - At least 1 tree (semi advanced at planting), selected for the scale of the house and available area
 - Alternatives to the above will be assessed on their merits
5. Gardens and nature strips are to be maintained by residents to an acceptable standard.
6. It is strongly recommended and highly preferred that at least 70% of the plants used are both drought tolerant and indigenous species, as these are adapted to the environment.

5

Service & Ancillary items

5 Services and Ancillary Items

5.1 SERVICE EQUIPMENT

1. Satellite dishes, antennae or external receivers must be:
 - located to the rear of the dwelling; and
 - not readily visible from the public realm
2. Heating and cooling units must be:
 - located towards the rear of the dwelling; and
 - not readily visible from the street

If located on the roof, heating and cooling units must be:

- positioned below the ridge line;
 - positioned to the rear of the roof; and
 - coloured to match the roof as far as practical.
3. Photovoltaic cells, solar panels and the like may be located to maximise their efficiency as long as they integrate with the roof form.

5.2 SCREENING

1. Ancillary structures and elements must be located so that they are not readily visible from the public realm. This include items such as:
 - rubbish bin storage areas
 - washing lines
 - hot water systems
 - any water storage tanks
 - spa pumps
 - external plumbing other than that for rain water
 - Sheds and outbuildings
2. Trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles must be located so that they are not readily visible from the public realm when parked or stored on the Lot.

5.3 SIGNAGE

1. Signs to advertise the sale of a vacant Lot are not permitted unless approved by the Developer
2. One sign only may be erected to advertise the sale of a completed dwelling.
3. Signs for dwelling names and home businesses are not permitted.

5.4 RECYCLED WATER

Each dwelling must incorporate plumbing that allows for connection to any future recycled water supply, in accordance with all statutory requirements.

5.5 FIBRE TO THE HOME

Connection to Ellarook's fibre to the home service, delivered by Opticomm, is mandatory. **Please refer to Appendix A for Opticomm's installation guide and for more details, enquire with the sales team.**

5.6 WASTE MANAGEMENT

1. Waste management initiatives and practices are essential during the construction phase of the dwelling. Builders are to include recycling practices where possible, which include but are not limited to:
 - The use of skips rather than cages
 - Maintenance of waste records
 - Use of contractors who transport waste to a licensed recycling centre
 - Select materials and products which minimise and/or recycle packaging
 - Maximise the use of standard sizes of materials wherever possible

5 Services and Ancillary Items

5.8 MAINTENANCE OF LOTS

2. Disposal of all hazardous substances, pollutants and contaminates is to be in accordance with all state regulatory requirements. Where these materials are treated or used on site, they must be in accordance with a sanctioned remediation process.
1. The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a Lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow excessive growth of grass or weeds upon the Lots.
2. The Purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserve or in any waterway.

5.7 EMISSIONS

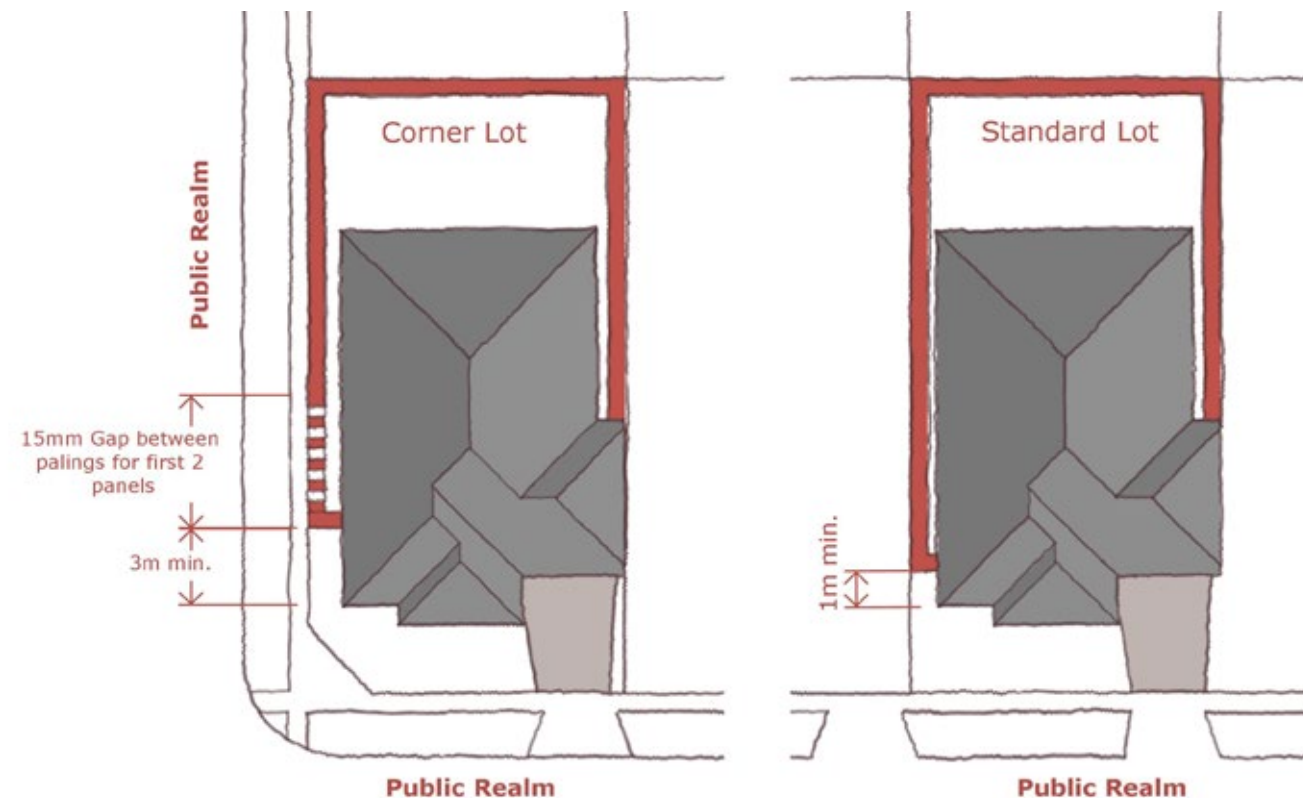
The use of low emission paints, sealants and adhesives in the construction of the dwelling is highly desired. Builders must incorporate at least 2 of the following measures into the delivery of each dwelling:

- Use low emission paints on $\geq 95\%$ of internal and external painted surfaces
- Use low emission sealants on $\geq 95\%$ of internal and external painted surfaces
- Use low emission adhesives on $\geq 95\%$ of internal and external painted surfaces
- Use low emission floor coverings on $\geq 95\%$ indoor covered floors
- All engineered wood products are EO rated

3. Crossover and Footpath Protection
4. It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.
5. Street Tree Protection
6. It is the responsibility of the landowner to ensure that any street trees and/or nature strips are protected during all building works.



6 Fencing Submission Form



I/we, being the property owners of Lot, hereby confirm that I/we will construct all fencing in accordance with the Ellarook Design Guidelines and the relevant fencing template (including fence height, location, style and materials).

Lot Type (please tick) ☐ Standard ☐ Corner

Name Name

Signed Signed

Date Date

Please complete and scan this form for inclusion with your submission on the Design Approval Portal at www.ngdd.com.au.

The EDAP can be contacted as follows:
P: (03) 9849 6222

7 Submission Checklist

This checklist must be used in conjunction with the Design Guidelines described in detail earlier in this document and not in isolation:

- 3.1.1** Proposal incorporates only one dwelling
- 3.1.2** The width of the front elevation complies with applicable requirements
- 3.2.1a** All setbacks are dimensioned to show that the proposal complies with the relevant Planning and Building Regulations
- 3.2.1b** All encroachments are dimensioned, (horizontally and vertically) show that the proposal complies with the relevant Planning and Building Regulations
- 3.2.2a** Any front loaded Garage is set back 5.5m from the front boundary
- 3.2.2b** The mature size of any proposed planting in the front set back has been considered in relation to the proposed setbacks
- 3.4.2** The proposal incorporates a prominent front entry feature that is readily visible from the primary street frontage and complementary to the overall dwelling design
- 3.4.3** The front facade incorporates appropriate articulation
- 3.4.4** There are no sliding windows on any facade that faces the public realm
- 3.4.5** Any front loaded garage is stepped back at least 500mm from the front wall the dwelling
- 3.5.1a** Pitched roofs incorporate a roof pitch of between 20° and 25°
- 3.5.1b** Pitched roofs incorporate a minimum eaves width of 450mm to the front facade, including the garage
- 3.5.1c** Pitched roofs incorporate a minimum 1m return of the eaves along the side wall of any single storey roof
- 3.5.1d** Pitched roofs incorporate a minimum eaves width of 450mm to the entire upper level on two storey dwellings
- 3.5.2** Any parapets near either side of the front facade return along the side wall for at least 500mm
- 3.6.1** The colours proposed are muted, neutral tones
- 3.6.2** The front facade incorporates at least 2 different materials/finishes
- 3.6.3** The total amount of any face brick in the front facade is no more than 75% of the area of the front facade, not including any openings
- 3.6.5** There are no obvious lightweight panels above any openings in any public realm facing facade. All openings on any public realm facing facade have a finish above the opening that matches the finish on either side of the opening
- 3.6.6** The roof cladding complements the style of the home
- 3.6.7a** All roof materials and rainwater fixtures have a matte and non-reflective finish
- 3.6.7b** No roof materials or rainwater fixtures are galvanized, zincalume or unfinished
- 3.6.8** Any external glazing that is visible from the public realm does not contain leadlight, stained glass, reflective glass or patterned film
- 3.6.9** Any roll down security shutters are not be visible from the public realm
- 3.7.1** The proposal incorporate a fully enclosed garage
- 3.7.2** Front loaded Lots have a garage that is it integrated into the overall form of the dwelling
- 3.7.3** Detached garages match or complement the dwelling in materials, colours and finishes

7 Submission Checklist

- 3.7.4** Any garage door facing the public realm clearly complies with the garage door requirements (Roller doors are not permitted)
- 3.7.5** The garage door opening in a single storey proposal is dimensioned to show that it does not exceed 40% of the width of the Lot frontage
- 3.7.6a** Triple garages, in addition to the requirements above, have a dedicated door to the third car space and the wall that contains the third door steps back at least 500mm from the other front wall of the garage
- 3.7.7** Lots greater than 12.5m incorporate a double garage
- 3.8.1** On a corner Lot, the portion of the wall on the secondary facade that is forward of the return fence incorporates at least two of the following design features from the primary facade:

Windows with matching head heights

Highlight materials and finishes that wrap around from the primary facade

Other treatments, to the satisfaction of the EDAP, such as stepped walls, pergolas, roof features etc
- 3.8.2** Each facade that faces the public realm incorporates eaves or parapets for its entire length
- 3.8.3** Any material and finish used on edge of the front facade extends around to the secondary facade for a minimum of 3m
- 3.9.1** The proposal incorporates only one driveway that aligns with the existing crossover
- 3.9.2** The driveway tapers to the width of the crossover at the boundary
- 3.9.3** The driveway set back a minimum of 400mm from the side boundary to provide a strip for landscaping

- 3.9.4a** The driveway finish is clearly labelled and it complies with the following approved finishes:

Exposed aggregate concrete; or

Coloured concrete; or

Stamped/stencilled concrete; or


Any other EDAP approved finish
- 3.10.1** All fences on the side and rear boundaries shown on the drawings
- 3.10.2** The return fence (or both the return fences if the garage is not on the boundary) is shown and labelled on the drawings
- 3.10.3** If this is not a corner Lot, the location of any return fence is dimensioned to show that it is at least 1m from the closest front wall
- 3.10.4** The proposal does not incorporate any fencing forward of the return fence
- 3.10.5** All fences been labelled correctly (max 1.95m timber paling fence with 150mm plinth, exposed posts and capping)
- 3.10.7** If this is a corner Lot, the first two panels of the fence on the secondary boundary have been labelled to show that they must have a gap of at least 15mm between the palings, rather than lapped palings
- 3.10.8** If this is a corner Lot, the secondary boundary fence been labelled to ensure that any rails are not on the public realm side of the fence
- 3.10.9** If this is a corner Lot, the return fence on the secondary boundary been dimensioned to show that it is at least 3m from the closest front wall, and not 1m
- 3.11.1** Not including the driveway, the impermeable surfaces in the front garden make up no more than 25% of the front yard

7 Submission Checklist

- 3.11.2** The front garden complements the dwelling design and provides a seamless transition between street and house
- 3.11.3** The letterbox matches and complements the dwelling design
- 3.11.4a** The front garden incorporates fine grading and shaping of planting and lawn areas
- 3.11.4b** The front garden incorporates garden beds comprised of mulch and/or pebbles
- 3.11.4c** The front garden incorporates areas of lawn (or lawn substitute)
- 3.11.4d** The front garden incorporates at least 30 shrubs
- 3.11.4e** The front garden incorporates at least 1 tree that is a minimum of 1.5m high when planted
- 3.11.6** At least 70% of the number of plants used in the front garden are drought tolerant and indigenous species
- 4.1** All the relevant services and ancillary items are coloured and positioned appropriately
- 4.2** All relevant services and ancillary items are located so that they are not readily visible from the public realm
- 4.4** The drawings clearly show that provision has been made for connection to any future recycled water supply
- 4.5** The drawings clearly show that provision has made for connection to Ellarook's fibre to the home service

Preparation & Installation Guide

for Builders and Developers




OptiComm
Premier
Estate
Phone, Internet,
FTA TV and
Foxtel

Important. FTA TV and Foxtel is delivered to your Property via OptiComm Fibre. Make sure your TV cabling goes back to your NTD location. There is no need for a TV Antenna.

Welcome to the OptiComm Network Preparation and Installation Guide. This document will help you to correctly prepare your premises and arrange connections to access the OptiComm Network.

The guide has been created with builders, owners and developers in mind, where the developer has an agreement with OptiComm to provide optical fibre broadband to the premises within a new development.

www.opticomm.net.au



OptiComm
national broadband fibre

Supplying Conduit Paths from OptiComm

You'll Need:

- Rigid white P23 telecommunications conduits with an internal diameter of 23mm, to be used in the trench connecting to the service drop conduit and within the house.
- Solvent cement for gluing all joints.
- Drawstrings to be installed in all conduits.
- Conduit saddles or similar to which conduits must be fixed securely.
- A power point (GPO) to be provided within 1500mm of the location of the Network Termination Device (NTD).

Premises Connection Device (PCD) Separations:

- 1.5m minimum side clearance from gas cylinders*
- 500mm minimum from services including:
 - > Downpipes and water taps
 - > Electricity, gas* and water meter enclosures

*Please check with your local authorities for their separation rules.

Supplied Materials from OptiComm

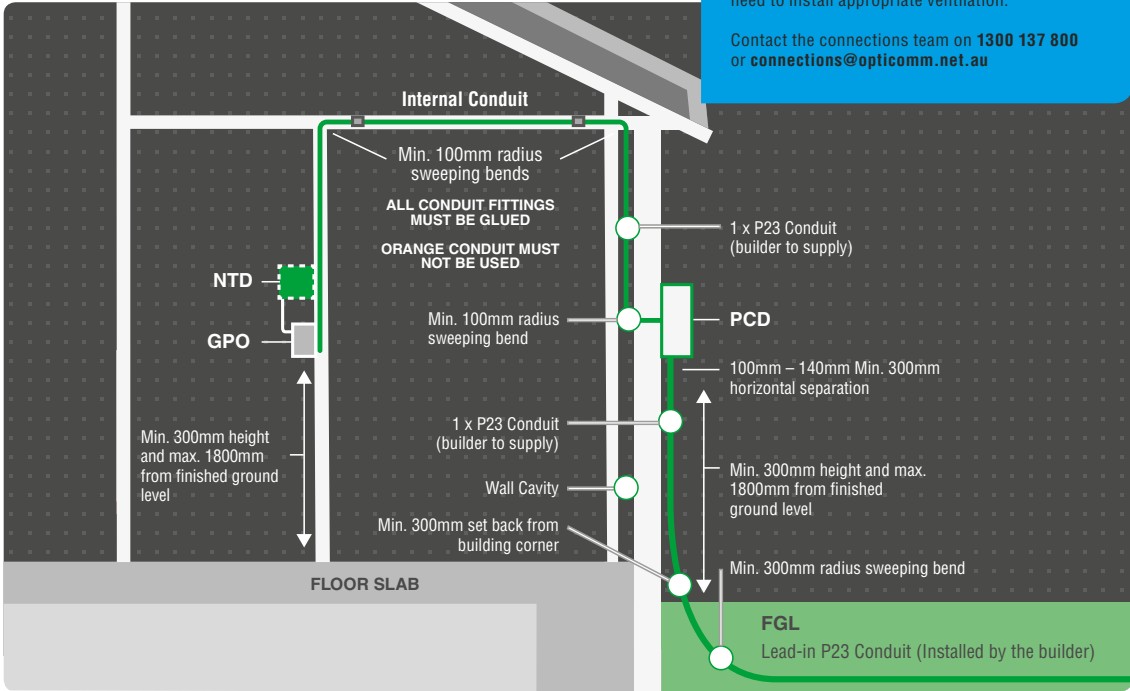
We supply:

- P23 service drop conduit running from the pit to 1 metre inside the property.
- The PCD and service drop cable to the PCD location.
- The internal fibre optic cable from the PCD to the NTD.
- The NTD, TV/Foxtel Receiver and NTD Enclosure with a Standard Power supply.
- Battery backup unit if required during pre-installation.
- All fibre optic cables.

Supply Paths:

- Make sure all conduits are running as straight as possible.
- Every bend radius of the street conduit must be no less than 300mm.
- Any internal conduit bend radius should be no less than 100mm.
- A maximum of 3 x 90° bends should be used between draw points.

Internal P23 and Lead-in Conduit Configurations



Internal Conduit

Min. 100mm radius sweeping bends

ALL CONDUIT FITTINGS MUST BE GLUED

ORANGE CONDUIT MUST NOT BE USED

Min. 100mm radius sweeping bend

1 x P23 Conduit (builder to supply)

PCD

100mm – 140mm Min. 300mm horizontal separation

Min. 300mm height and max. 1800mm from finished ground level

Min. 300mm set back from building corner

Wall Cavity

1 x P23 Conduit (builder to supply)

FLOOR SLAB

Min. 300mm height and max. 1800mm from finished ground level

Min. 300mm radius sweeping bend

FGL


Lead-in P23 Conduit (Installed by the builder)

NTD

GPO

Important: If your Network Termination Device (NTD) is in an enclosed space, for safety purposes you will need to install appropriate ventilation.

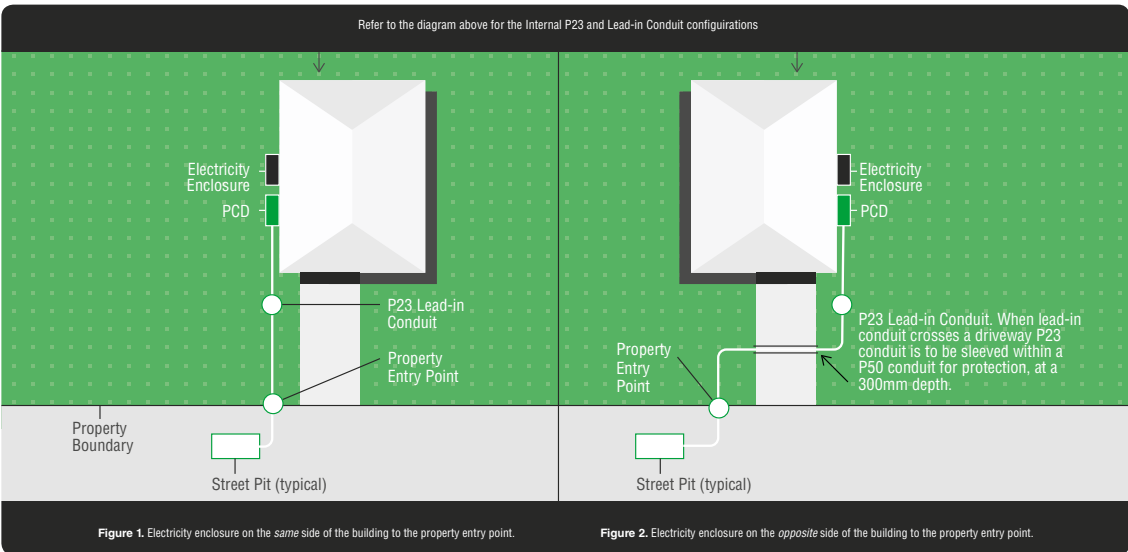
Contact the connections team on 1300 137 800 or connections@opticomm.net.au



OptiComm
national broadband fibre

8 Appendix A - Opticomm Guide

Electricity enclosure on the same side as the property entry point.



Preparing New Developments with OptiComm

How to Prepare:

- Talk to new homeowners about which telecommunications services they're going to be using.
- Encourage owners who want to use IPTV via smart TVs or HD video conferencing to consider fixed cabling.
- Ensure TV cabling and splitters are Foxtel approved models and capable of distributing the 2.4GHz Foxtel satellite signal from the NTD to wall plates.
- Work with the homeowners to determine where OptiComm Network equipment, phone and data outlets should be positioned.
- Ensure owners select a position for the equipment that's safe and convenient for connecting telephone, computers and internet TV.

Get What You Need from OptiComm

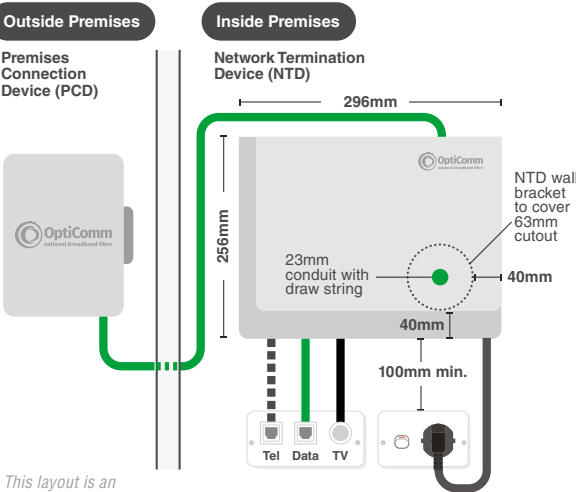
OptiComm delivers national broadband fibre to both fixed line internet and telephone services to homes and businesses. To make sure your connections all run smoothly and are provided with minimum delay, you can request preinstallation of the in-home equipment the eventual owners or occupants will need to access the OptiComm Network. Owners or occupants will also need to be registered with OptiComm once they move in to the premises.

Information Needed to Arrange Pre-Installation:

- Confirmation all owners and/or occupants have given you the authority to make the request.
- Confirmation all owners and/or occupants have waived their right to be given notice of pre-installation from OptiComm (Schedule 3, Telecommunications Act 1997).
- Address/es of premises requiring pre-installation, including developer estate name and stage number.
- On-site contact person's details and confirmation you have their permission to release these details to OptiComm.
- Preferred date of installation.
- Date by which the address/es will be at secure 'lock up' stage and estimated completion or handover date/s.
- Confirmation of availability of power on site.
- Whether power supply with battery backup will be needed by the owners/occupants.
- Confirmation these guidelines have been followed and internal and lead in conduits have been correctly installed.

Wall Space Reservations

OptiComm equipment installed within the home



Indoor installation only. OptiComm equipment must be installed in a weather protected such as an enclosed garage or other location allowed under the cabling provider rules.

8 Appendix A - Opticomm Guide

Get in Touch with OptiComm

info@opticomm.net.au
www.opticomm.net.au
1300 137 800



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Builders and developers using this guide take full responsibility for researching applicable local codes, laws and standards and following steps described in this document while complying with said codes, laws and standards. The OptiComm Network Installation Guide for Builders and Developers is provided only as an informational resource.

OP006-171 - Jul19

Ellarook

A life inspired

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WWW.ELLAROOK.COM.AU

ELLAROOK DESIGN ASSESSMENT PANEL (EDAP)
PORTAL: WWW.NGDD.COM.AU
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